

# **SPECIFICATION PACKET**



## **HISTORIC KEENE LODGE AND COMMUNITY CENTER RESTORATION AND MAINTENANCE OF EXISTING BUILDINGS**

**2021**

## **NOTICE OF BID**

The Jessamine County Fiscal Court will receive sealed bids for Historic Keene Lodge and Community Center Restoration and Maintenance of Existing Buildings. Bid documents may be obtained from the Office of Jessamine County Judge/Executive, David K. West, 101 North Main Street, Nicholasville, KY 40356 or at [www.jessamineco.com](http://www.jessamineco.com). Sealed bids will be accepted at the office of the Jessamine County Judge/Executive David K. West, 101 North Main Street, Nicholasville, KY until Monday, April 5, 2021 at 12:00 noon. Jessamine County Fiscal Court reserves the right to reject any and all bids.

Run: March 18, 2021

At a rate per linear inch, single column, solid nine point measure

**Solicitation/Contract #: Keene Lodge and Community Center**

# **PRE-BID MEETING**

**SATURDAY, MARCH 27 AT 12:00 NOON**

**ON SITE**

**114 KEENE TROY RD.,**

**NICHOLASVILLE, KY 40356**

## **Reciprocal Preference for Kentucky Resident Bidders**

### **KRS 45A.490 Definitions for KRS 45A.490 to 45A.494.**

As used in KRS 45A.490 to 45A.494:

- (1) "Contract" means any agreement of a public agency, including grants and orders, for the purchase or disposal of supplies, services, construction, or any other item; and
- (2) "Public agency" has the same meaning as in KRS 61.805.

### **KRS 45A.492 Legislative declarations.**

The General Assembly declares:

- (1) A public purpose of the Commonwealth is served by providing preference to Kentucky residents in contracts by public agencies; and
- (2) Providing preference to Kentucky residents equalizes the competition with other states that provide preference to their residents.

### **KRS 45A.494 Reciprocal preference to be given by public agencies to resident bidders -- List of states -- Administrative regulations.**

- (1) Prior to a contract being awarded to the lowest responsible and responsive bidder on a contract by a public agency, a resident bidder of the Commonwealth shall be given a preference against a nonresident bidder registered in any state that gives or requires a preference to bidders from that state. The preference shall be equal to the preference given or required by the state of the nonresident bidder.
- (2) A resident bidder is an individual, partnership, association, corporation, or other business entity that, on the date the contract is first advertised or announced as available for bidding:
  - (a) Is authorized to transact business in the Commonwealth; and
  - (b) Has for one (1) year prior to and through the date of the advertisement, filed Kentucky corporate income taxes, made payments to the Kentucky unemployment insurance fund established in KRS 341.490, and maintained a Kentucky workers' compensation policy in effect.
- (3) A nonresident bidder is an individual, partnership, association, corporation, or other business entity that does not meet the requirements of subsection (2) of this section.
- (4) If a procurement determination results in a tie between a resident bidder and a nonresident bidder, preference shall be given to the resident bidder.
- (5) This section shall apply to all contracts funded or controlled in whole or in part by a public agency.
- (6) The Finance and Administration Cabinet shall maintain a list of states that give to or require a preference for their own resident bidders, including details of the preference given to such bidders, to be used by public agencies in determining resident bidder preferences. The cabinet shall also promulgate administrative regulations in accordance with KRS Chapter 13A establishing the procedure by which the preferences required by this section shall be given.
- (7) The preference for resident bidders shall not be given if the preference conflicts with federal law.
- (8) Any public agency soliciting or advertising for bids for contracts shall make KRS 45A.490 to 45A.494 part of the solicitation or advertisement for bids.

The reciprocal preference as described in KRS 45A.490-494 above shall be applied in accordance with 200 KAR 5:400.

## Method of Award

### Best Value – Ranking Approach

**Jessamine County Fiscal Court** intends to award a Contract to the Vendor, whose offer, conforming to the Solicitation, is the most advantageous on the basis of "best value" for all products, services, and requirements contained herein.

An evaluation committee, or a designated individual, will evaluate the information provided by the Vendor in response to the established measurable criteria contained in the Solicitation.

### Measurable Criteria:

<b>Price</b>	<b>90 Points</b>
<b><u>Experience</u></b>	<b><u>10 Points</u></b>

**TOTAL POINTS                      100 Points**

Each Vendor is responsible for submitting all relevant, factual and correct information with their offer to enable the evaluator(s) to afford each Vendor the maximum score based on the available data submitted by the Vendor. VENDOR SHALL ENTER UNIT PRICE AND TOTAL PRICE ON THE BID SHEET. If adequate space is not available, the Vendor must attach additional information that clearly cross-references the appropriate location in the solicitation (i.e. page number, paragraph, subject, etc.).

Vendors responding with the minimum Best Value requirements in this Solicitation shall not be credited with Best Value points. Vendors responding with greater than the minimum requirements shall receive Best Value points. Failure to provide adequate information will impact the evaluated points awarded to the Vendor.

### Price (90 points)

The bidder with the lowest Price receives the maximum score. The bidder with the next lowest Price receives points by dividing the lowest Price by the next lowest price and multiplying that percentage by the available points. For example, 95 points is allocated to the lowest Price criteria for this procurement, Bidder "A" bids \$3.00 as the lowest bidder and receives the maximum 95 points ( $\$3.00 / \$3.00 = 1.00 \times 95 = 95$ ). Assume Bidder "B" is the next lowest bidder at \$4.00, then "B" receives 71.3 points ( $\$3.00 / \$4.00 = .75 \times 95 = 71.25$ ).

### Experience- (10 points)

5 years experience is the minimum requirement for this criteria. Points are only given to bidders who exceed the 5 year requirement. The bidder with the greatest number of years experience (not to exceed 10 years for evaluation purposes) receives the maximum number of points. The bidder with the next largest number of years experience, receives points by dividing the next largest number of years experience by the largest number of years experience and multiplying that percentage by the available points. For example, 10 points is allocated to the largest number of years experience, over 5 years, for this procurement, Bidder "A" bids 10 years as the bidder with the largest number of years experience and receives the maximum of 10 points ( $10 / 10 = 1.00 \times 10 = 10$ ). Assume Vendor "B" is the bidder with the next largest number of years experience at 5 years, then "B" receives 5 points ( $5 / 10 = .50 \times 10 = 5$ ).

**Vendor shall enter number of year's experience: \_\_\_\_\_ years**

Best Value scoring is subject to **Reciprocal preference for Kentucky resident bidders and Preferences for a Qualified Bidder or the Department of Corrections, Division of Prison Industries (KAR 200 5:410)**.

**REQUIRED AFFIDAVIT FOR BIDDERS, OFFERORS AND  
CONTRACTORS CLAIMING  
RESIDENT BIDDER STATUS**

**FOR BIDS AND CONTRACTS IN GENERAL:**

The bidder or offeror hereby swears and affirms under penalty of perjury that, in accordance with KRS 45A.494(2), the entity bidding is an individual, partnership, association, corporation, or other business entity that, on the date the contract is first advertised or announced as available for bidding:

1. Is authorized to transact business in the Commonwealth;
2. Has for one year prior to and through the date of advertisement
  - a. Filed Kentucky corporate income taxes;
  - b. Made payments to the Kentucky unemployment insurance fund established in KRS 341.49; and
  - c. Maintained a Kentucky workers' compensation policy in effect.

The BIDDING AGENCY reserves the right to request documentation supporting a bidder's claim of resident bidder status. Failure to provide such documentation upon request shall result in disqualification of the bidder or contract termination.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

Company Name \_\_\_\_\_

Address \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Subscribed and sworn to before me by

\_\_\_\_\_  
(Affiant)

\_\_\_\_\_  
(Title)

of \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
(Company Name)

\_\_\_\_\_  
Notary Public

[seal of notary]

My commission expires: \_\_\_\_\_

**REQUIRED AFFIDAVIT FOR BIDDERS, OFFERORS AND  
CONTRACTORS CLAIMING  
QUALIFIED BIDDER STATUS**

**FOR BIDS AND CONTRACTS IN GENERAL:**

I. The bidder or offeror swears and affirms under penalty of perjury that the entity bidding, and all subcontractors therein, meets the requirements to be considered a "qualified bidder" in accordance with 200 KAR 5:410(3); and will continue to comply with such requirements for the duration of any contract awarded. Please identify below the particular "qualified bidder" status claimed by the bidding entity.

\_\_\_\_\_ A nonprofit corporation that furthers the purposes of KRS Chapter 163

\_\_\_\_\_ Per KRS 45A.465(3), a "Qualified nonprofit agency for individuals with severe disabilities" means an organization that:

- (a) Is organized and operated in the interest of individuals with severe disabilities; and
- (b) Complies with any applicable occupational health and safety law of the United States and the Commonwealth; and
- (c) In the manufacture or provision of products or services listed or purchased under KRS 45A.470, during the fiscal year employs individuals with severe disabilities for not less than seventy-five percent (75%) of the man hours of direct labor required for the manufacture or provision of the products or services; and
- (d) Is registered and in good standing as a nonprofit organization with the Secretary of State.

The BIDDING AGENCY reserves the right to request documentation supporting a bidder's claim of qualified bidder status. Failure to provide such documentation upon request may result in disqualification of the bidder or contract termination.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

Company Name

Address

**Solicitation/Contract #: Keene Lodge and Community Center**

\_\_\_\_\_ Must provide proof of general liability insurance in the minimum amount of \$1,000,000.00 with Jessamine County Fiscal Court named as additional insurer

\_\_\_\_\_ Must have worker's compensation insurance coverage for all employees that perform work under the contract prior to execution of contraction

\_\_\_\_\_ Must have a Jessamine County Occupational License and be in compliance

\_\_\_\_\_ Must have an after hour number in case of emergency

\_\_\_\_\_ Must adhere to all local, state and federal regulations



**Solicitation/Contract #: Keene Lodge and Community Center**

**Name of Bidder** \_\_\_\_\_

**Contact** \_\_\_\_\_

**Address** \_\_\_\_\_

**Phone** \_\_\_\_\_

**Email** \_\_\_\_\_

**Signature** \_\_\_\_\_

**Date** \_\_\_\_\_

# **Historic Keene Lodge and Community Center Restoration and Maintenance of Existing Buildings**

## **Project Sponsor**

Jessamine County Fiscal Court  
101 N. Main Street  
Nicholasville, KY 40356

## **Project Principal**

Preservation Services and Technology Group, LLC  
627 Main Street  
Shelbyville, KY 40065



# Historic Keene Lodge and Community Center Restoration and Maintenance of Existing Buildings

## **Judge David West**

Jessamine County Fiscal Court  
101 N. Main Street  
Nicholasville, KY 40356  
(859) 885-4500

## **Fred J. Rogers, MHP**

Preservation Services and Technology Group, LLC  
627 Main Street  
Shelbyville, KY 40065  
(859)270-3413  
fredj.rogers@gmail.com

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# **Historic Keene Lodge and Community Center Restoration and Maintenance**

## **Project Overview**

The Keene Lodge and Community Center is located along Keene-Troy Pike in Jessamine County, Kentucky. The site is owned and operated by the Jessamine County Fiscal Court and it is used by the community for events, weddings, birthdays, etc.

The property consists of two distinct and separate buildings. The Keene Lodge is a 19th Century residential structure that has been changed over time and adapted to fit the needs of the community. There is also an adjacent Community Center building next to the historic house that was built about twenty years ago as an extension of the Keene Lodge. Both buildings are in need of repairs and maintenance.

## **Historic Residence**

The house is fully described within this packet for the purpose of familiarizing potential bidders about its historic design, materials, and workmanship. In summary, the house is a two story framed structure with weather board siding that has decayed and is in need of replacing and painting. Likewise, there are issues with certain windows that include severe decay of the trim and framing components. The windows themselves appear to be functional and in need of basic maintenance, however, the owner may want to replace them. Other maintenance and restorative issues are present with the front door and side lights.

## **Modern Building**

The adjacent modern building is of frame construction with Hardie Plank siding. It appears that the building is in good condition, however there is an issue with the rear door, which needs to be replaced. Likewise, there are two sets of double doors that need to be replaced as well. Otherwise, the exterior of the building needs to be painted.

## **Project Objectives**

It is the goal of the County to ensure that both buildings undergo key maintenance and repair/restoration efforts that are necessary for their extended life and use. Therefore, this bid packet seeks to inform the bidder about the condition and nature of both buildings, while also presenting a scope of services for the project. The bid packet is divided in two parts:

Part 1: Description of Historic Building

Part 2: Scope of Services

## Aerial Overview



- Historic residential element of the property.
- Modern detached rear building.
- Approximate property boundary.



## Verbal Description

The Keene Lodge and Community Center occupy about an acre of land along the north side of Keene-Troy Pike within the town of Keene, Kentucky. The property serves a playground and recreational facility, as well as a place where public and private events can be held. In addition to the buildings, there is some playground equipment and a basketball court with a moderate amount of spaces for parking.

***\*\*There are no major impediments to access the property with equipment and plenty of space for material storage/staging.***



## PART 1: Description of Historic Building

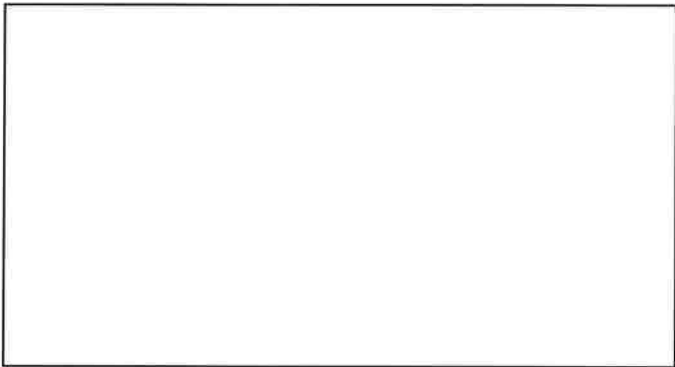
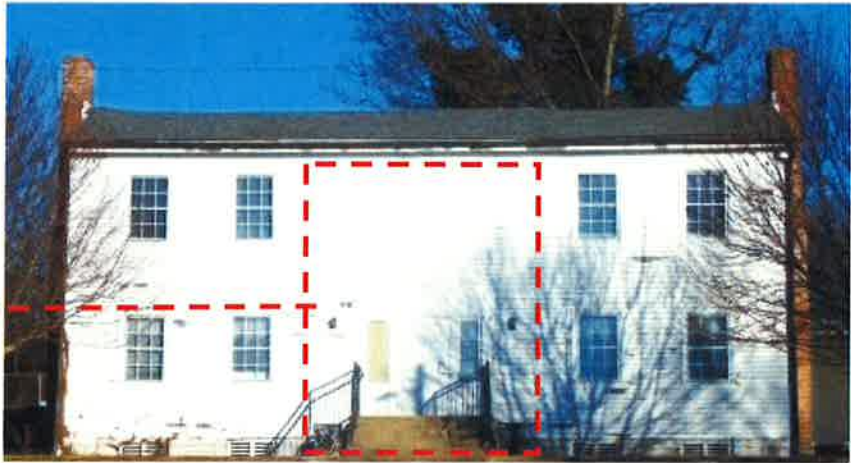


**Front Elevation View Facing North**

**General Description:** This is a rectangular structure of combination-framed construction with a rear ell addition. The house was likely built or altered from its original form in the last quarter of the 19th century. The house is a single pile, central passage plan with a total of 5 bays (WWDWW). The roof is clad in replacement asphalt shingles with some irregularities in the ridgeline that demonstrate age related settling of the roof system over time. There are exterior brick chimneys that are free-standing structures on both gable ends. The eaves, gutter system and dental fascia along the cornice have been rebuilt with modern materials. The house is clad in replacement clapboard siding and the windows appear to be non-historic replacements. That are 6/6 double hung wood sashes. The upper (center) elevation appears to have accommodated a porch roof or "sleeping porch" in the past and the front entrance has been unsympathetically altered with modern materials that include a poured concrete stair structure (see next page for examples). The house sits on a dry laid stone foundation that appears to be non-continuous with the rear ell of the structure. The front-facing foundation stones are scored while the remaining stones are unfinished and dimensionally irregular.

**Examples of Similar Houses with Center Porch Features Intact**

Conspicuous area on the front façade, which appears to have once had a more substantial entry and second story features. It is not know at this point when those elements were removed.



Rochester-Cecil House, Danville



Sunnyside Farm, Nicholasville

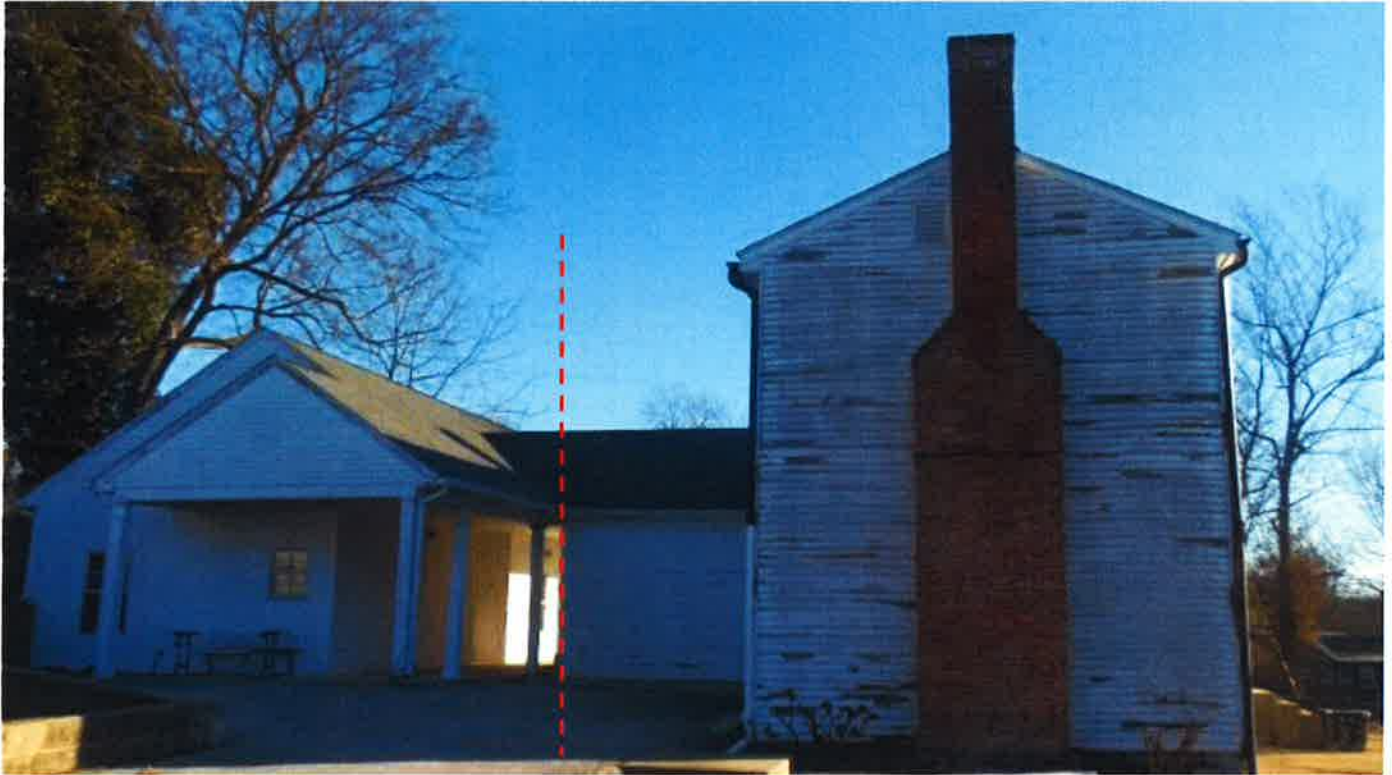


Unknown Location, Kentucky



Unknown Location, Kentucky

**View Facing East**



**Modern Addition**

**Historic Gable-Side Elevation**

When the modern facilities were added behind the house they were integrated into the historic structure through a common roof element that overlaid the rear ell of the historic house. The red line demonstrates the point of separation between the historic and non-historic sections of the structure.



**View Facing South**



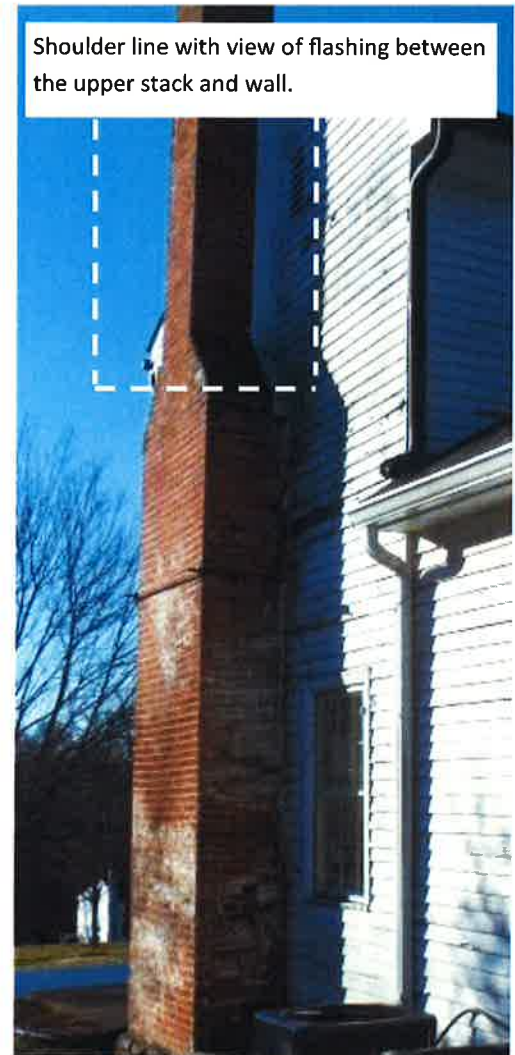
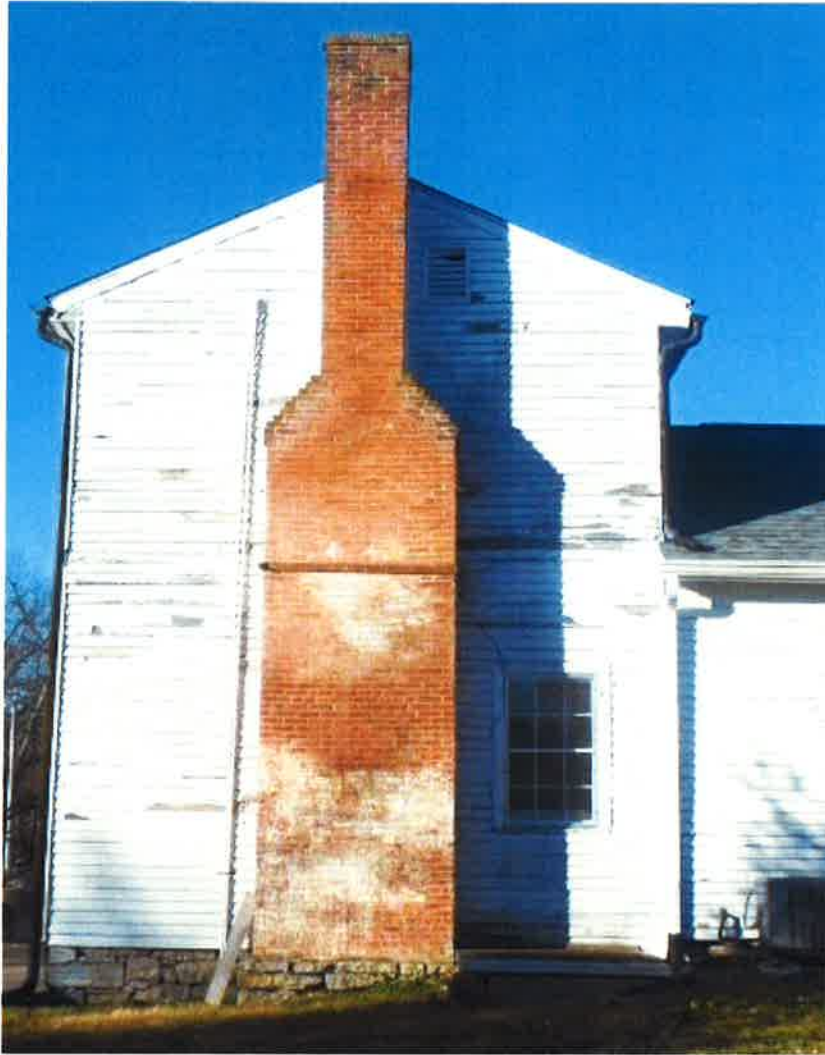
The rear elevation introduces an interruption in the symmetry of the house. The rear door is a modern replacement and is inline with the central passage corridor. The interior has been unsympathetically altered from the original design intent, and it is hard to know the extent of alterations to the current fenestration pattern. All the windows appear to be modern replacements.

**View Facing East, Rear Ell**



The rear ell appears to be a historic addition to the original house plan. It is fully enclosed and presently features a stairwell system to access the second floor. The roof structure appears to have been modified at the time the detached rear addition was installed. The foundation is dry laid stone and non-contiguous with the primary foundation of the house. Presently there does not appear to be a chimney or other fire box configuration associated with the ell.

### View Facing West with Chimney Details



Both gable-end chimneys are free-standing structures that engage with the wall structure from the shoulders of the chimneys down to their base. Above the shoulders the chimney stacks are completely separate from the wall. The chimneys are supported by iron straps that are likely anchored to the mid-frame girt (second floor). The chimney foundations are integral to the house foundation and they are constructed of dry laid stone.



## Observations of the Framing System



Rough Log center beam for flooring system indicates perhaps two possibilities. 1. an earlier log structure occupied the present footprint or 2. The house was originally built as a combination-framed structure.



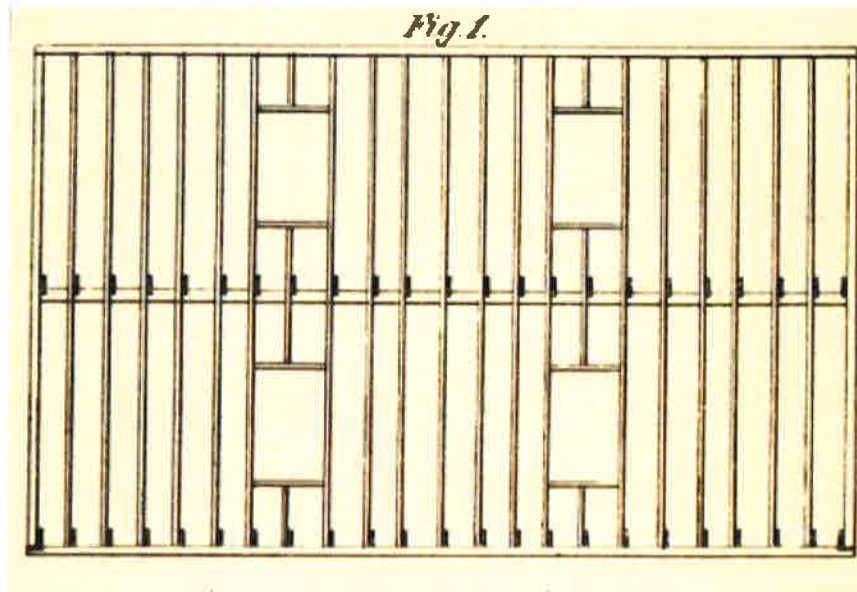
Heavy timber corner (or down) bracing is evidence of a combination-framing system that integrated with lighter (less bulky) wall studs.

The structural system of the historic house appears to be a “combination-frame”. A typical combination frame system will transition from bulky foundational framing members to a light-weight wall structure made up of full-span studs with a center ledger that carries the second floor joist system. In effect, the house gets “lighter” as it goes up.

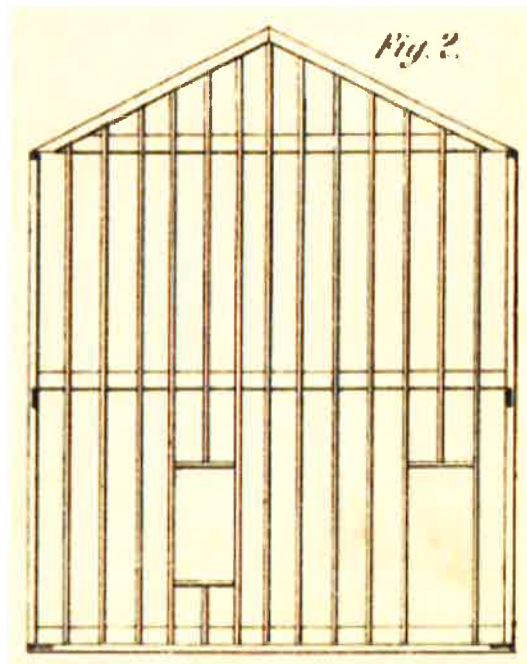
It has been observed that the house uses heavy timbers (logs) to form part of the sill and center beams. The logs support the floor joists, which span the width of the floor and rest upon the log sill and center beam. The floor joists are heavy, milled lumber of regular dimensions and equal spacing.

**\*It should be noted that only a small portion of the flooring system could be observed and may not be consistent with the entire house. Other indications from field observations are that the house may have been built in stages, which may reflect inconsistencies in building materials and techniques.**

## Observations of the Framing System



Example of front wall elevation Balloon Frame.



Example of side-gable frame with low pitch roof.

The wall and roof system is believed to be a “balloon frame” with the use of heavy corner bracing on the first floor and lighter braces on the second floor.

## Observations of the Foundation



The foundation is continuous dry-laid cut stone. The front-facing stones are scored as a means of creating a finished surface.



The remaining foundation stones are dry-laid and irregular in their shape and dimensions.

## PART 2: Scope of Services

Prior to creating this scope of services, a careful inspection of the historic structure was undertaken in order to foresee and then convey to the bidder the most accurate visual assessment of the building possible. To be sure, there are some issues that may arise that will require us to adjust our scope and issue a change order. It is therefore important that the bidder have a reasonable contingency amount in their bid to help offset costs and prevent delays in the project.

Some reliance on the expertise of those submitting a bid will help guide the bid process. Therefore, a pre-bid conference will be scheduled at the site to go over any questions and/or concerns that may arise. Afterwards, an addendum will be issued that address any major concerns that will impact the bid estimates.

All bid packets will include the following:

- A summary cost-breakdown for each building (see *example* table below):
- There are three alternates to list at this point: Insulated Wrap, Replacement Windows, and Hardie Plank siding.

Historic House	Estimated	Alternate #1	Alternate #2	Alternate #3
Item	Cost	Replace Insulation Wrap	Replace all Windows	Hardie Plank Siding
Siding				
Window Repairs				
Front/Rear Entrance				
Paint Exterior				
Coach Light/Security Lights				
Contingency				
<b>Total</b>				

Modern Building			
Item	Estimated Cost	Alternate #1 (if any)	Notes
Replacement Doors			
Paint Exterior			
Other			
Contingency			
<b>Total</b>			

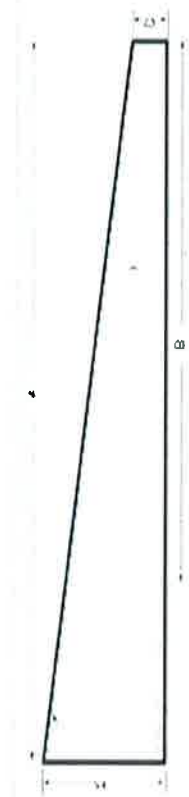
- Proof of Liability Insurance
- Bid Bond (if applicable)



## Exterior Siding

Regarding the historic structure, it should be understood that a certain degree of consideration be given to its historic design, materials, and workmanship.

1. Based on field observations, the present siding is not original to the house but it does serve as a guide for what materials and workmanship were customary to the original period of construction. Therefore, it is proper to use a wood clapboard material as a replacement, which is what occurred in past efforts to renew the siding materials.



***Approximate Dimensions of Existing Siding in Profile***

A= 5" B= 2" C= 1/2" D= 3/8"

2. The replacement siding should match (as close as possible) the dimensions of the existing siding and be installed using present day industry standards of workmanship. The estimate should take into consideration re-siding the entire house with associated trim elements throughout—including the trim around the windows.

**\*\* Please include an alternate quote to replace the siding using Hardie Plank instead of wood siding.**



## Additional Considerations for Siding



Remnants of vines that remain attached to the siding.



Encroachments behind the existing siding.



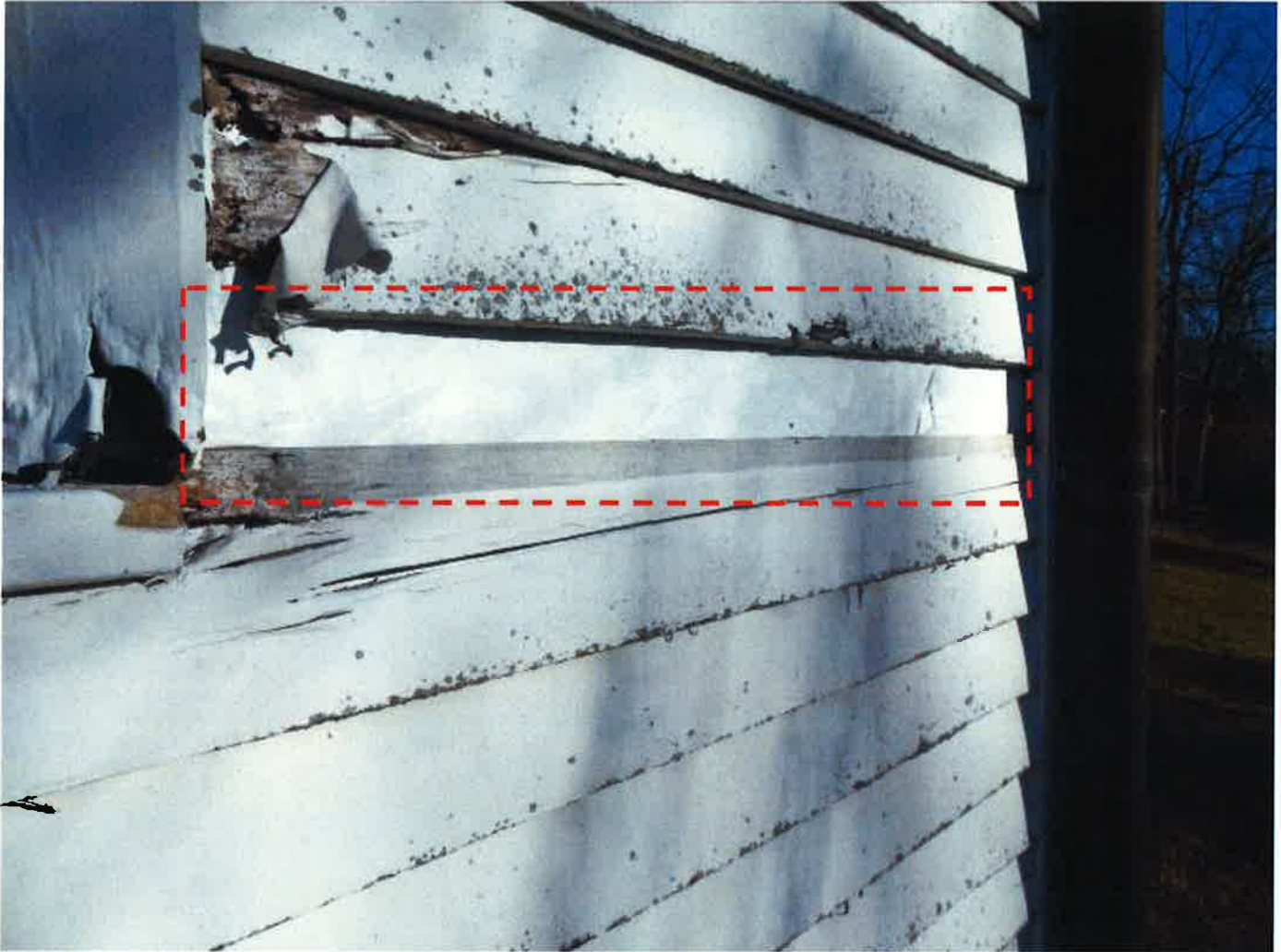
Additional encroachments around foundation and vents.

3. There are structural intrusions remaining from some vines that established themselves onto the house. Any such obstructions should be thoroughly removed as part of the process for re-siding the house.

4. The gutter downspouts should be properly removed as part of the re-siding effort and then properly reinstalled at the appropriate time. It is not anticipated at this time that the gutters will need to be replaced, although some minor repairs may be needed such as bracing, hangers, seams, etc.

5. Once the old siding is removed and the framing system is exposed, an assessment will have to be made regarding the surface preparation of the historic framing members, which may be necessary to properly attach the new siding materials.

## Additional Considerations for Siding

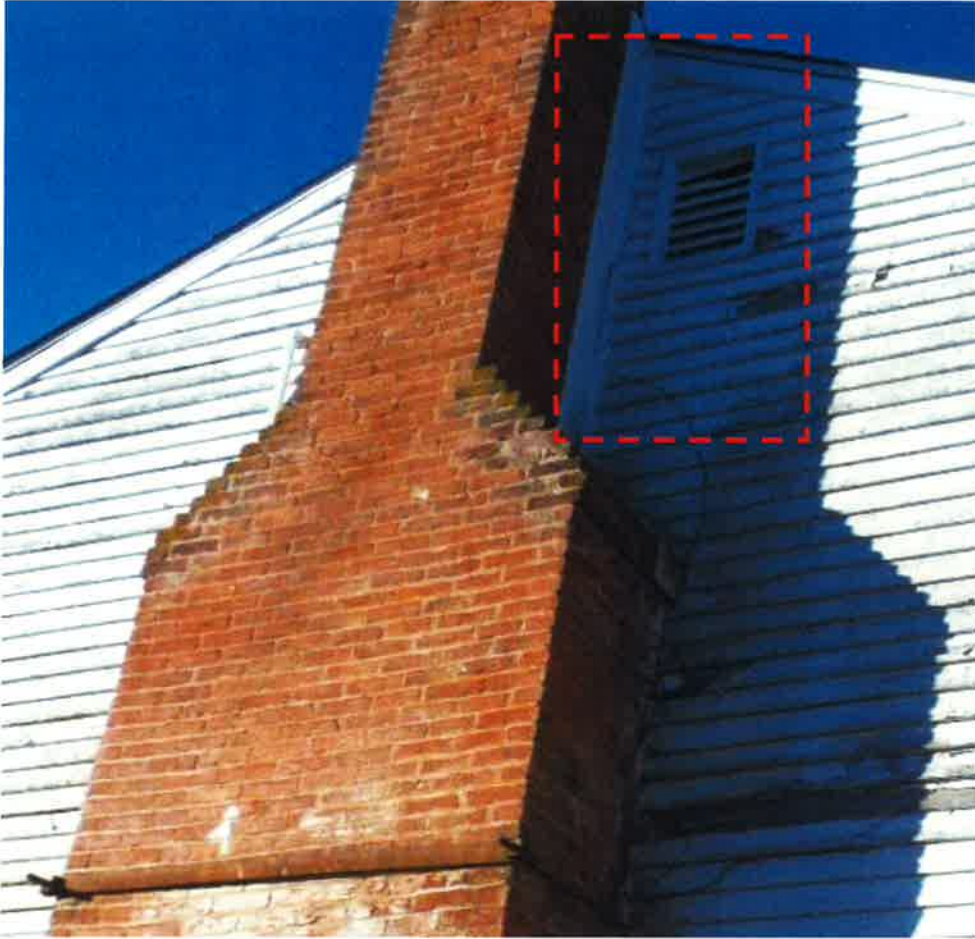


Exposed area showing the weather barrier insulation wrap.

6. There is a fiberglass coated insulation wrap that appears to cover the entire structure. The overall condition of the material is not known at this time. Likewise, it is not known how much of the material can be salvaged once the old siding has been removed.

- **Alternate #1:** While the wrap material seems to be a resilient product, its age (approximately 20yrs old) may justify its replacement. The bidder should include replacing the material as an alternate estimate. A determination can be made once the material has been exposed and it can be known the extent to which replacing it may apply.

### Additional Considerations for Siding



View of attic vent and flashing.

7. Each gable end has a louvered attic vent and there is “gap” flashing that has been installed in previous rehabilitation efforts. Also, the chimneys have iron straps that secure them to the frame of the house.

- Consideration should be given to any repairs/touch-ups to the attic vents that may be necessary.
- Consideration should be given to the flashing removal and re-installation.
- Consideration should be given to the nature of the iron straps and what (if anything) should be done to them as part of the re-siding effort.
- The chimneys will remain unpainted.



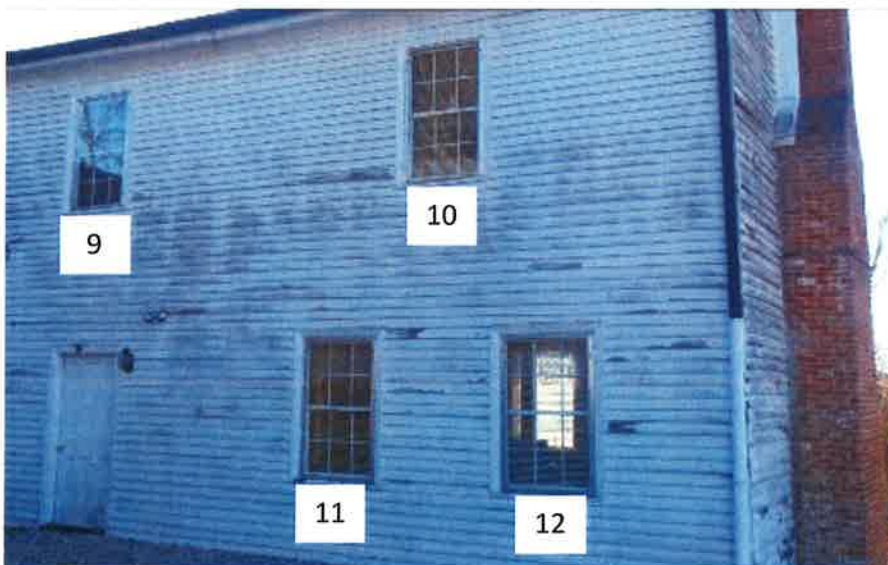
## Windows

There are a total of 13 windows. Each window is double hung, wood sashes, with raised mullions in a 6/6 pattern. Each of the windows are modern replacements and most appear to be in need of maintenance and painting. However, certain windows show a lot of decay around the trim, sills, and potentially the window jambs. It is possible that some windows may need to be replaced.

Below, the windows have been numbered for ease of reference. I have included an initial assessment for each window on the following page. Please use my assessment as a guide, however, the bidder's recommendation is what will be followed for the project.



Front Elevation Windows.



Rear Elevation Windows



Side Elevation Window

## Additional Considerations

Window #	Comments
1	In-place maintenance
2	In-place maintenance
3	In-place maintenance
4	In-place maintenance
5	Remove and repair framing rot, perform maintenance on window, replace trim
6	In-place maintenance
7	In-place maintenance
8	In-place maintenance
9	In-place maintenance
10	In-place maintenance
11	Issues with the sill, may need to be removed for repairs, then reinstalled and replace trim
12	Window is tilted, remove to correct tilt, reinstall, replace trim
13	In-place maintenance

The above table simply states my initial assessment of the existing windows.

1. It is likely that the existing windows can either be:

1. Repaired in place
2. Removed, repaired, and reinstalled
3. Combination of Repair and Replace
4. Replace all windows (show as bid alternate #2).

Nevertheless, all the windows should be functional and in an excellent state of repair once completed, including paint and repairs to mullions. Therefore, the bidder should perform an assessment and estimate for the treatment of all windows based on their individual needs. Give consideration to interior repairs/paint or trim elements that may be effected by work being done to the windows.

2. It may be the desire of the property owners to replace all of the existing windows regardless of their condition. To more adequately understand the feasibility of replacing windows, provide and alternate estimate to replace all the windows using a similar product to that which is presently in place.

## Front Entrance and Rear Door



Front Entrance.

The Front Entrance is in need of several repairs and maintenance.

1. Assess the front door and recommend a treatment, including hardware.
2. Assess the side-lights and recommend a treatment. The side-light that is covered is due to broken glass, which needs to be repaired.
3. Assess door trim and recommend a treatment.
4. Assess coach lights (front and rear) and recommend appropriate replacements.
5. Evaluate the security lights front and rear and recommend a treatment.
6. Assess the rear door and recommend a treatment.

Consideration should be given to the interior trim around the doors with the aim of retaining what is presently there. Preferably, the least amount of intrusion is preferred.

## Exterior Paint



Front Elevation

The entire exterior of the house should be properly painted white using a long-life, durable, exterior paint. The property owner may want to have the window trim and doors painted in a matching complementary shade to enhance their appearance. If that is going to create a significant price jump, please advise. Otherwise, that option should be expressed in the bid.



## Community Center Building: Exterior Paint



Front Entrance Facing East



Oblique View Facing Northwest

This building is a modern structure that is in need of general maintenance. The property owner would like to have the entire exterior of the building painted the same color as it presently is.

1. Although it does not appear that any trim elements are failing, conduct an assessment and make any recommendations necessary.
2. All surfaces to be painted should be properly treated prior to the application of the paint.
3. Use a high quality long-lasting, durable exterior paint.



## Replace Doors



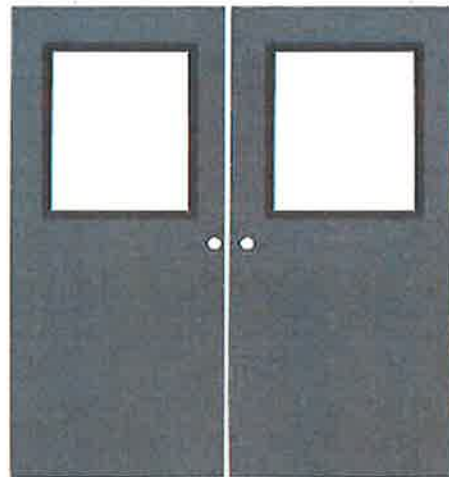
Front Entrance North



Side Entrance Facing East



Rear Door Facing West



Example of Suitable Replacement

The property owners would like to replace the existing double door entries with commercial metal doors. Likewise, the rear door needs to be replaced in like manner.

1. Consider replacing the doors only without replacing the door frame (if possible).
2. The replacement doors should use a “panic” exit device with appropriate exterior handles.
3. The doors should be painted once installed (color to be determined).